

MAIN LEVEL FLOOR PLAN

NOT TO SCALE



**SITE DESCRIPTION:**

PROPERTY OWNER:  
JOHN SMITH

BUILDING AREA:  
MAIN FLOOR 2,054 S.F.  
LOWER FLOOR 2,054 S.F.  
TOTAL = 4,108 S.F.

PLANNED USE:  
RESIDENCE

SITE ADDRESS:  
SAMPLE, IOWA

**DRAWINGS BY:**

ARCHITECTURAL



CURTIS ARCHITECTURE & DESIGN PC

122 NORTH MARKET ST. #3  
OSKALOOSA, IOWA 52577  
641 672-9625

**INDEX OF DRAWINGS:**

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**SUPPLEMENTARY NOTES:**

VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES PRIOR TO STARTING WORK.

VERIFY IN FIELD ALL EXISTING CONDITIONS SHOWN ON DRAWINGS.

ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR MECHANICAL, ELECTRICAL AND PLUMBING WITH APPROPRIATE TRADES.

PROVIDE ALL NECESSARY BRACING, SHORING, GUYING OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

ANY ENGINEERING DESIGN PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW SHALL BEAR THE STAMP OF AN ENGINEER REGISTERED IN THE STATE OF IOWA.

NO MATERIAL SUBSTITUTIONS OR DESIGN CHANGES SHALL BE MADE TO THESE CONSTRUCTION DOCUMENTS WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.

**CONSTRUCTION OBSERVATION CLAUSE:**

RODNEY L. CURTIS CURRENTLY OF CURTIS ARCHITECTURE & DESIGN, P.C. IS THE ARCHITECT OF RECORD. IN THE EVENT THAT CURTIS ARCHITECTURE & DESIGN, P.C. IS NOT INVOLVED IN THE JOB OBSERVATION PHASE OF THIS PROJECT, AND A CHANGE OR ALTERATION FROM THESE DRAWINGS OCCURS DURING CONSTRUCTION, THE OWNER AND CONTRACTOR(S) AGREE TO HOLD HARMLESS AND INDEMNIFY THE ARCHITECT AND CURTIS ARCHITECTURE & DESIGN, P.C. FROM ANY AND ALL CLAIMS INCLUDING ATTORNEY FEES, ARISING OUT OF OR RESULTING FROM SUCH CHANGES. BY STARTING CONSTRUCTION, OWNER AND CONTRACTOR(S) AGREE TO THIS CONDITION.

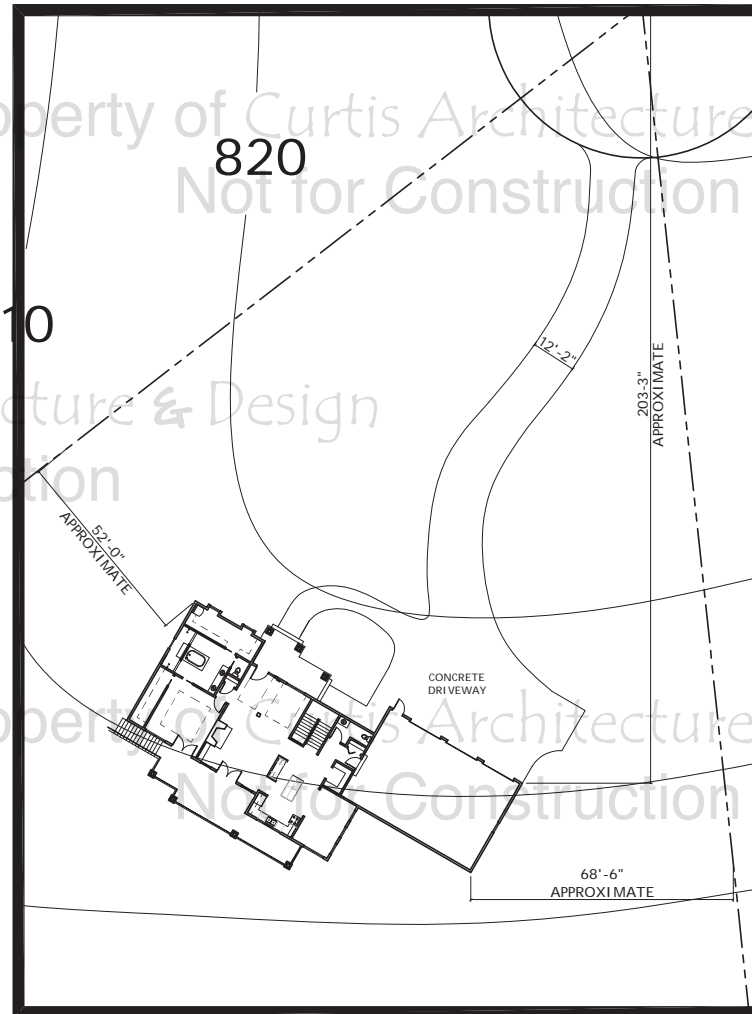
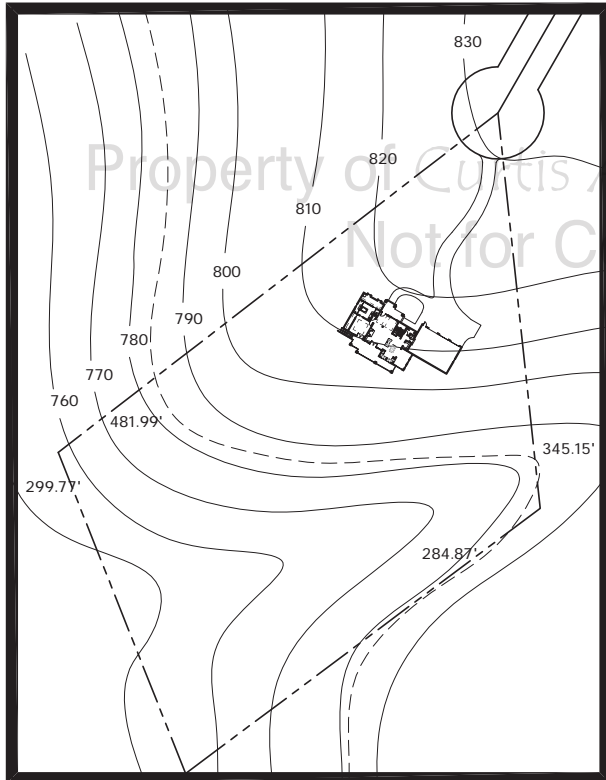
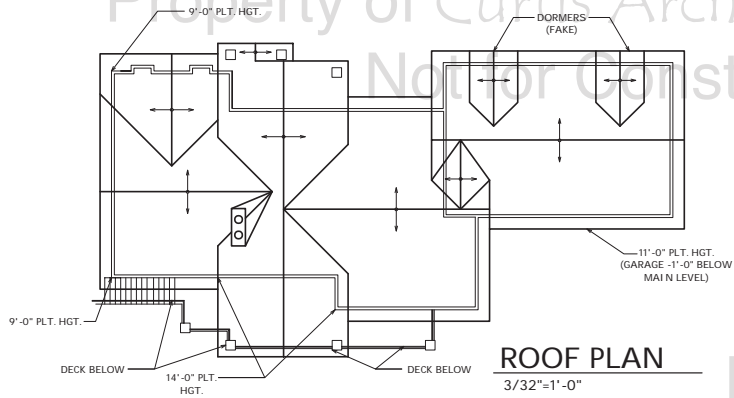
MEDIUM SAMPLE



GENERAL NOTES:

- TOPOGRAPHIC REPRESENTATION IS GENERAL VERIFY ACCURACY BEFORE CONSTRUCTION
- PROVIDE ALTERNATE PRICE FOR ASPHALT PAVING INSTEAD OF CONCRETE
- TREES ARE NOT SHOWN & LOCATED AT THE HOUSE LOCATIONS VERIFY ON SITE CONDITIONS FOR TREE REMOVAL PROTECT ALL HEALTHY TREES THAT HAVE POTENTIAL TO SURVIVE.

- PROVIDE CURB CUT AS NEEDED
- PROVIDE FINISH GRADING AFTER CONSULTATION IS COMPLETE ALL GRADING TO SLOPE AWAY FROM HOUSE



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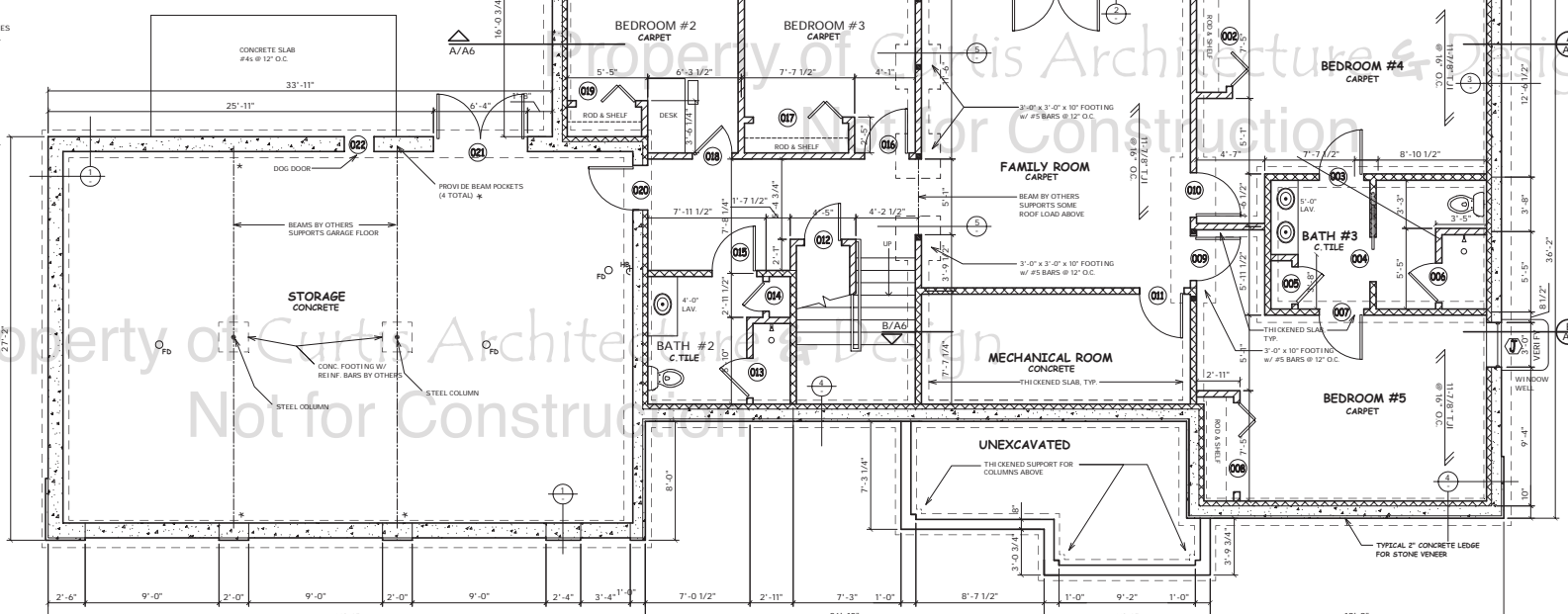
**MEDIUM SAMPLE**  
SAMPLE, IOWA

SITE PLAN :  
SCALE AS NOTED  
JOB NUMBER :  
1007  
DATE :  
SEPT. 23, 2010  
REVISIONS :

**GENERAL NOTES :**

-  REINFORCED CONCRETE
-  STONE
-  WOOD FRAMED
-  INSULATED
-  INDICATES 3-246 STRUCTURAL COLUMN IN 246 FRAME WALL OR 3-244 STRUCTURAL COLUMN IN 244 FRAME WALL

- SITE CURRENTLY HAS MANY TREES. VERIFY REMOVAL AND PRICE WITH OWNER.
- EXTERIOR WALLS SHALL BE SMOOTHED FACED CONCRETE FORMS PER MANUF. RECOMDNTS. TYP.
- EXTERIOR WALLS SHALL BE 246 WOOD STUDS W/ 5-1/2" BATT INSULATION, 1/2" OSB SHEATHING, AND "TYVEK" BUILDING WRAP. TYP.
- ALL INTERIOR WALL FRAMING TO BE 244 STUDS @ 16" O.C. W/ VAPOR BARRIER & LIGHT ORANGE PEAL FINISH. TYP.
- ALL INTERIOR FOUNDATION WALLS SHALL HAVE 244 STUD VAPOR BARRIER & 5/8" GYP. BD. W/ LIGHT ORANGE PEAL FINISH. TYP.
- PROVIDE 1/2" GYP. BD. AT CEILINGS UNLESS OTHERWISE NOTED W/ KNOCKDOWN FINISH, PRIME & PAINTED. TYP.
- 2-2x12 HEADERS AT ALL STRUCTURAL OPENINGS UNLESS NOTED OTHERWISE. ALL HEADER LUMBER SHALL BE CLEAR OF SPLITS & CHECKS TO FIT IN THE DESIGN VALUES USED IN DETERMINING ALLOWABLE HORIZONTAL SHEAR.
- ALL WINDOWS SHALL BE BY PELLA WINDOWS, OR AN APPROVED WINDOW BY OWNER. PROVIDE CUT SHEETS. TYP. VERIFY OPENING SIZES WITH MANUFACTURER.
- PROVIDE A 4" CONC. SLAB BY A/C 2.5 X 2.5 W/ VAPOR BARRIER & 4" COMPACTED GRAN. FILL THROUGHOUT BASEMENT. TYP.
- ROOF TRUSS PLACEMENT BY ARCHITECT IS GENERAL. TRUSS MANUFACTURER SHALL ENGINEER AND LOCATE TRUSS ACCORDINGLY. VERIFY W/ ARCHITECT AS NEEDED.
- ALL BEAMS SHALL BE SIZED BY OTHERS UNLESS OTHERWISE NOTED. TYP. ALL FLOOR FRAMING SHALL BE DESIGNED FOR MINIMAL DEFLECTION TO REDUCE BOUNCING. TYP.
- ALL EXPOSED CONCRETE SHALL BE THE SAME RECIPE TO MAINTAIN CONSISTANT COLOR. PROVIDE RECIPE TO OWNER FOR FUTURE POURS AND COLOR MATCHING.
- CONCRETE DRIVEWAY SHALL BE MINIMUM 4" THICK W/ #4 BARS EACH WAY 12" O.C. CONTROL JOINTS AT 10'-0" O.C. TYP.
- FLOOR SYSTEM SHALL BE 3/4" T & G GLYWOOD SHEATHING SCREWED & GULLED TO TJI FLOOR JOISTS OR FLOOR TRUSSES BY MANUF. TYP.
- ROOF SYSTEM SHALL BE 5/8" CDX MIN. SHEATHING NAILED TO ROOF FRAMING W/ 30# FELT PAPER AND 30 YEAR "OMARIDG" OR EQUAL ASPHALT SHINGLE. PROVIDE "BRACK" ICE SHIELD AT ALL INSUL. WALLS.
- PROVIDE R-38 BATT INSULATION AT CEILING / ATTIC SPACE. TYP.
- PROVIDE 3" X 6" X 8" INSULATED ALUM. OVERHEAD DOORS, W/ OPER. TYP.
- FIREPLACES SHALL BE BY HEATLATOR DIRECT VENT W/ REFRACTORY LINING, FAN KIT, AND GLASS DOORS (NO BRASS - BLACK OR CHROME ONLY). VENT TO THE VERTICAL CHASE. OWNER SHALL CHOOSE ACTUAL UNIT.
- ELECTRICAL CONTRACTOR SEE ELECTRICAL SHEETS FOR ADDITIONAL NOTES.
- DECK SHALL BE BROWN TREADED LUMBER. TYP.
- DECK RAILING SHALL BE THIN METAL, VERTICAL, PAINTED BLACK.
- PROVIDE ITEMIZED PRICE FOR SEEDING.
- PROVIDE SOUND INSULATION AROUND PERIMETER OF LAUNDRY ROOM, MASTER BEDROOM, & ALL BATHROOMS. TYP.
- SLOPE GRADE AWAY FROM HOUSE. TYP.
- STAIRS: BASEMENT TO MAIN - 10'-0" F.F. 17 RISES @ 7 1/4" EACH 10" TREADS
- PROVIDE 5/8" TYPE "X" GYP. BD. EACH SIDE BETWEEN GARAGE & HOUSE AS WELL AS AROUND THE MECH. ROOM PERIMETER.
- PROVIDE 1" X 6" WOOD BASEBOARD PER OWNER'S CHOICE. TYP.
- PROVIDE 1" X 4" WOOD CASING TRIM, PER OWNER'S CHOICE. TYP.
- KITCHEN CABINETS, COUNTERTOPS, BATHROOM CABINETS, & LAV. TOPS SHALL BE CHOSEN BY OWNER & INSTALLED BY CONTRACTOR. TYP.
- PROVIDE MEDIUM CABINET IN EACH BATHROOM. VERIFY TYPE AND SIZE WITH OWNER. TYP.
- CONTRACTOR TO PROVIDE ALL NEEDED BACKING IN WALLS FOR CABINETS, MIRRORS, TOWEL HOLDER (3 PER), AND SHELVING.
- HEATING CONTRACTOR SHALL PROVIDE GEOTHERMAL HEAT PUMP SYSTEM FOR MAIN LEVEL, UNFINISHED BSMT., AND OVER GARAGE. PROVIDE IN FLOOR SYSTEM IN BASEMENT LIVING AREAS. TYP.
- HEATING CONTRACTOR SHALL PROVIDE CENTRAL AIR SYSTEM THROUGHOUT, 3 ZONES - BSMT., MAIN, AND ATTIC. TYP.
- ARCHITECT SUGGESTS TWO MECHANICAL ROOMS THAT WILL DIVIDE HOUSE INTO TWO PRIMARY ZONES. TYP. VERIFY THIS NEED AND PROCEED ACCORDINGLY.
- PLUMBING CONTRACTOR SHALL PROVIDE 75 GAL. GAS HOT WATER HEATER IN BASEMENT.
- PLUMBING CONTRACTOR SHALL PROVIDE KOHLER OR EQUAL WATER CLOSETS (WHTE) AND FIXTURES. TYP.
- PROVIDE BURIED SEPTIC TANK SYSTEM PER OWNERS SIZE AND LOCATION.
- PROVIDE AN ITEMIZED PRICE FOR A RESIDENTIAL SPRINKLER SYSTEM.
- CONTRACTOR TO PROVIDE A GAS LINE STUB-IN FOR FUTURE GAS GRILL AND FIREPLACE NEAR THE KITCHEN.
- CONTRACTOR TO PROVIDE AN ELECTRICAL AND WATER LINE STUB-IN FOR FUTURE OUTLYING BUILDING. VERIFY LOCATION W/ OWNER.

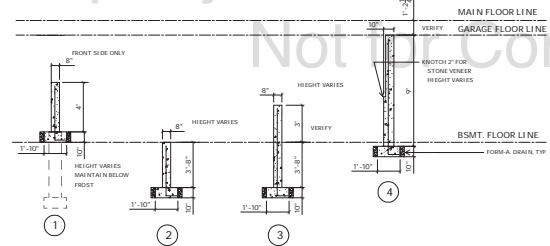


**LOWER FLOOR PLAN**

1/4" = 1'-0"

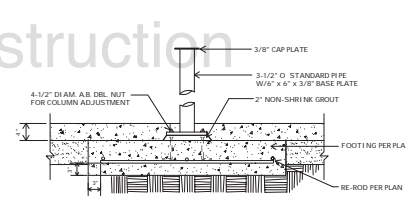
**FOUNDATION NOTES:**

- TYPICAL CONC. FOOTINGS: 11"10" X 0"10" CONC. FOOTING W/ 2-#5 BARS (CONT.)
- TYP. REIN. WALLS: #5 BARS @ 24" VERT. #5 BARS @ 48" HORIZ.
- TYP. REIN. FOOTINGS: PROVIDE FORM A-DRAIN AROUND ENTIRE PERIMETER. TYP.
- FOOTING NOTES: ALL THICKENED SLAB FOOTING AT INTERIOR BEARING WALLS TO BE 1'-6" X 0'10" THICKENED CONC. SLAB W/ 2-#4 BARS (CONT.)



**FOUNDATION SECTIONS**

1/4" NOT TO SCALE



**5 TYP. BSMT. COLUMN DETAIL**

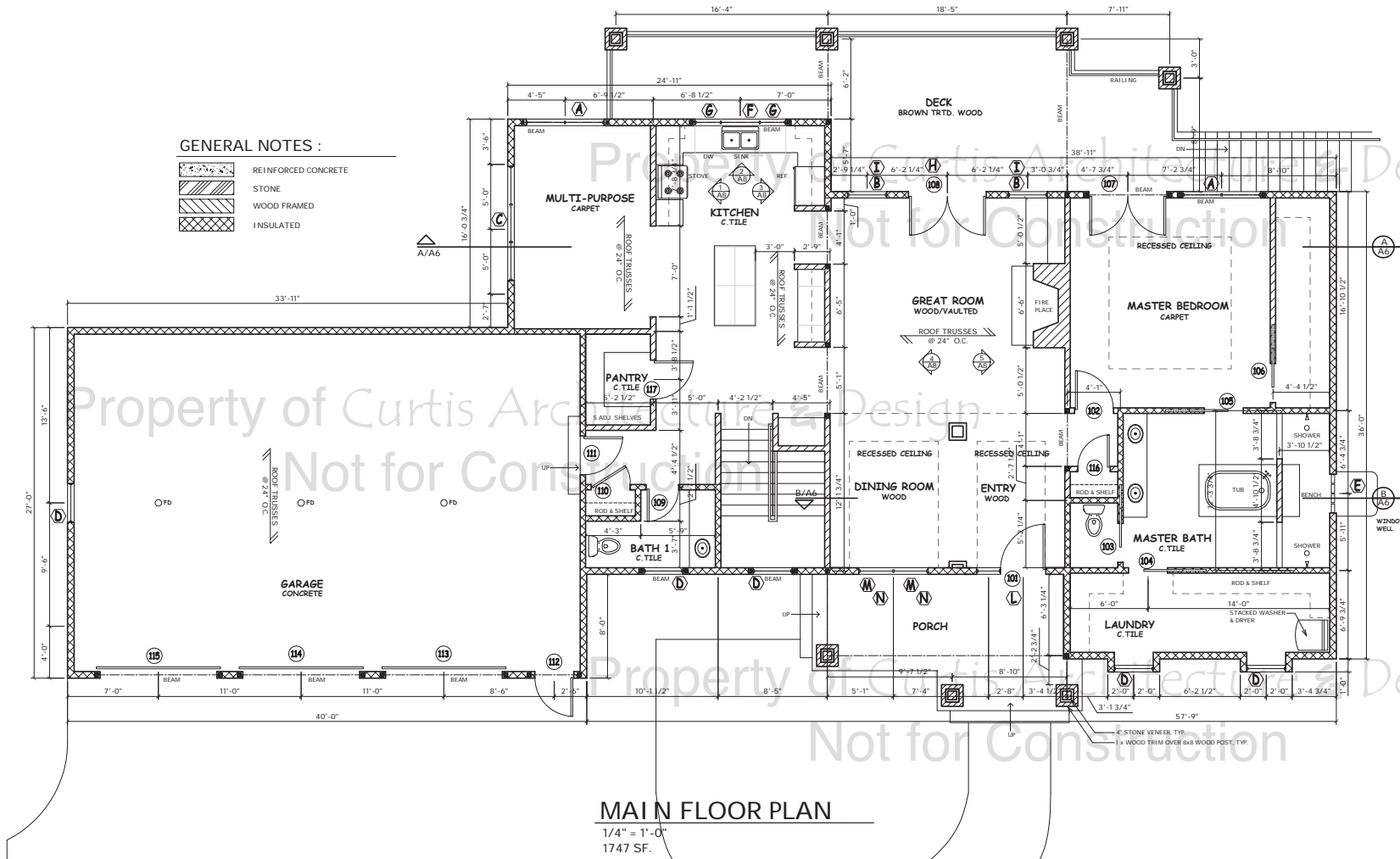
NOT TO SCALE

RESIDENTIAL DIVISION

**MEDIUM SAMPLE**

SAMPLE, IOWA

**LOWER FLOOR/ FOUNDATION PLAN:**  
1/4" = 1'-0"  
JOB NUMBER: 1007  
DATE: SEPT. 23, 2010  
REVISIONS:



**MEDIUM SAMPLE**  
SAMPLE, IOWA

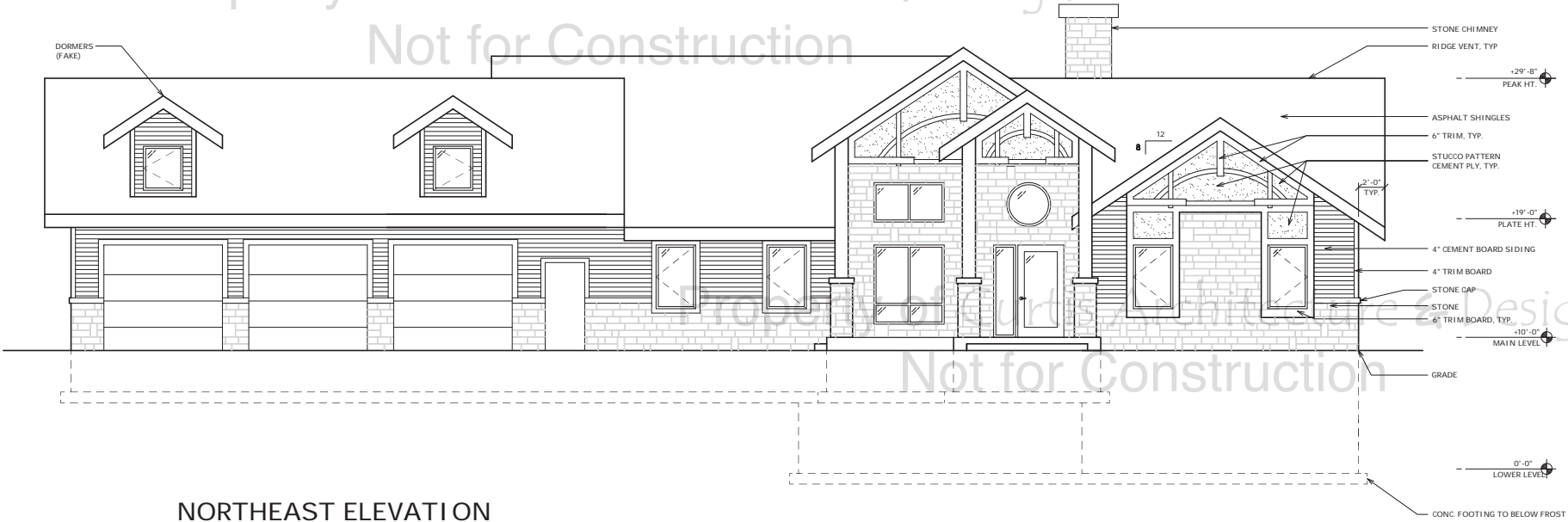
MAIN  
FLOOR PLAN :  
1/4" = 1'-0"  
JOB NUMBER :  
1007  
DATE :  
SEPT. 23, 2010  
REVISIONS :

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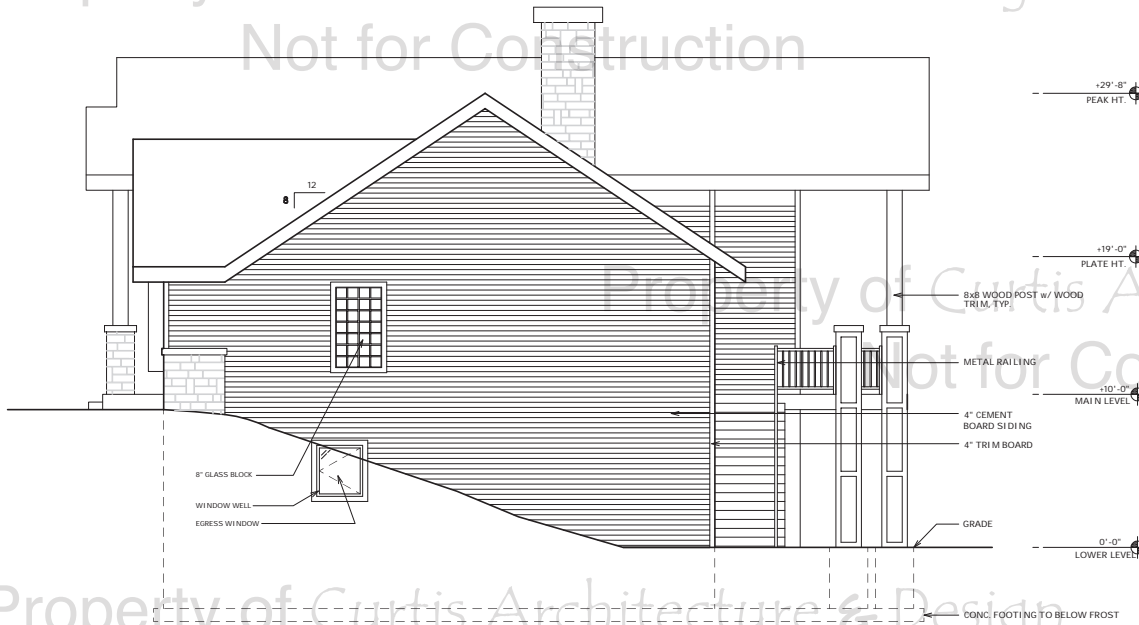
RESIDENTIAL  
DIVISION



**NORTHEAST ELEVATION**

1/4" = 1'-0"

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**NORTHWEST ELEVATION**

1/4" = 1'-0"

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**MEDIUM SAMPLE**  
SAMPLE, IOWA

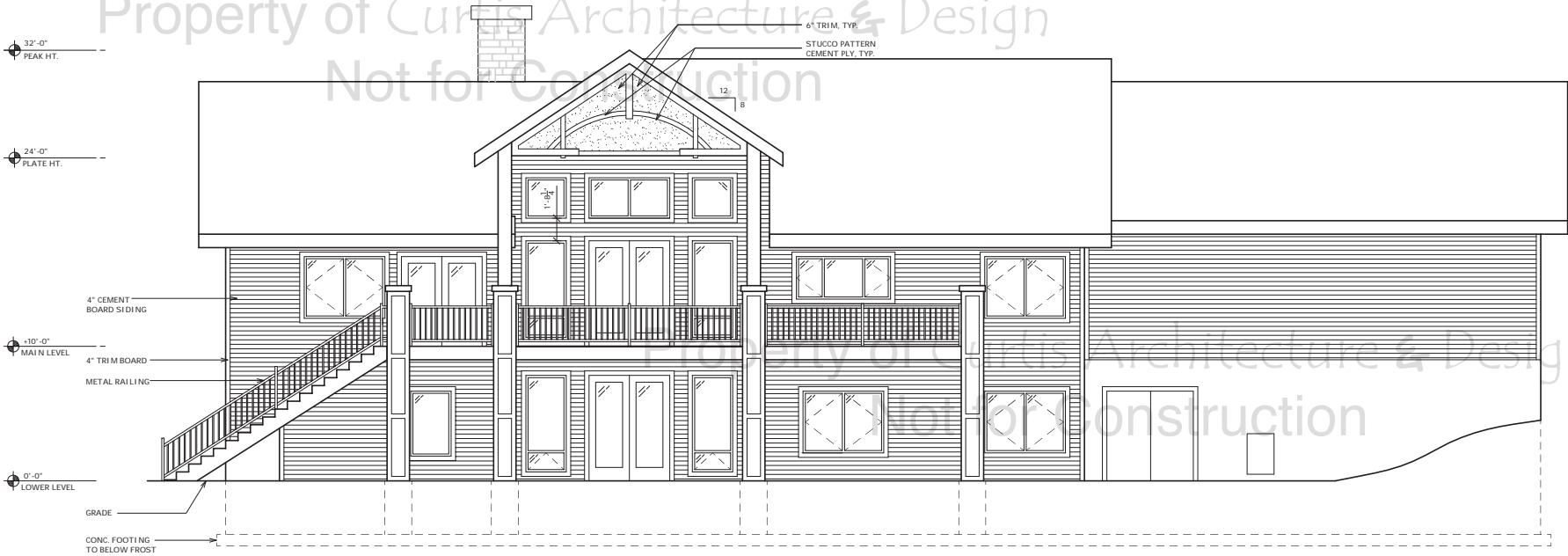
EXTERIOR  
ELEVATIONS:  
1/4" = 1'-0"  
JOB NUMBER:  
1007  
DATE:  
SEPT. 23, 2010  
REVISIONS:

122 N. MARKET  
SUITE #3  
OSKALOOSA,  
IA 52577  
641.672.9625

SHEET #

**A3**

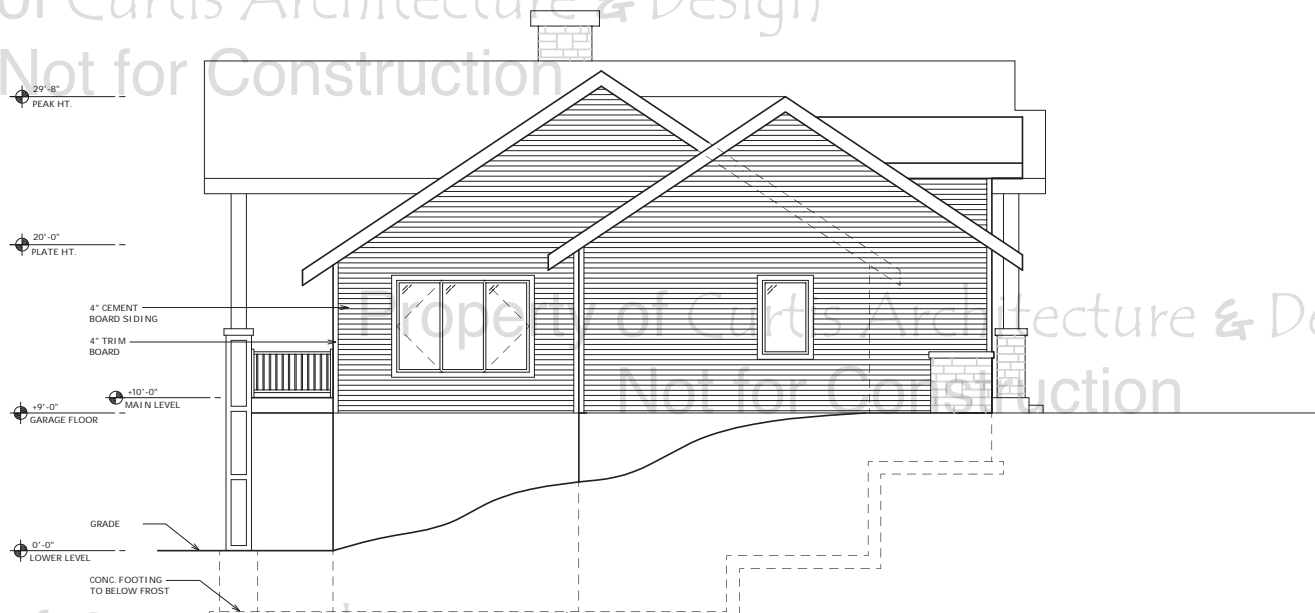
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**SOUTHWEST ELEVATION**

1/4" = 1'-0"

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**SOUTHEAST ELEVATION**

1/4" = 1'-0"

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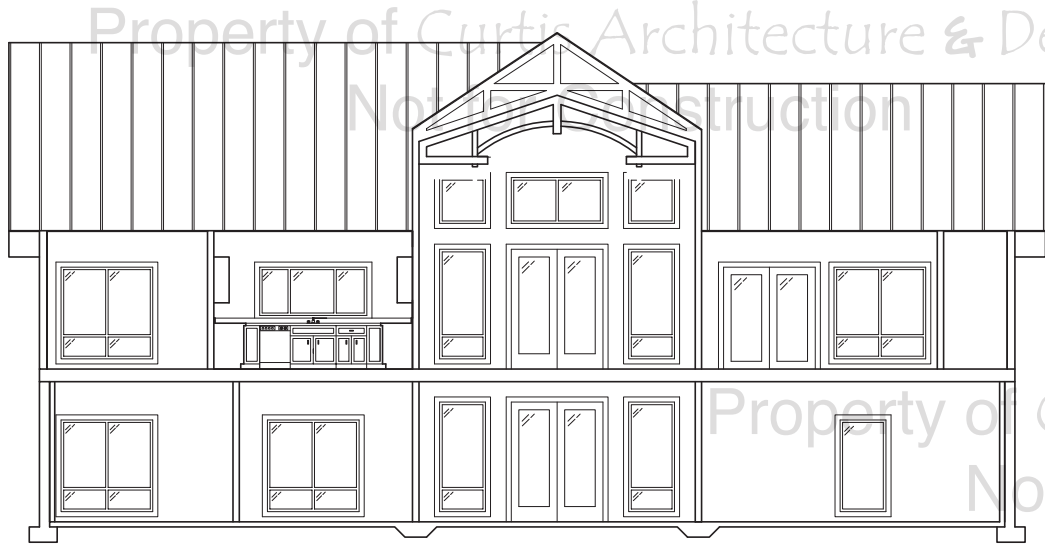
**MEDIUM SAMPLE**  
SAMPLE, IOWA

EXTERIOR  
ELEVATIONS :  
1/4" = 1'-0"  
JOB NUMBER :  
1007  
DATE :  
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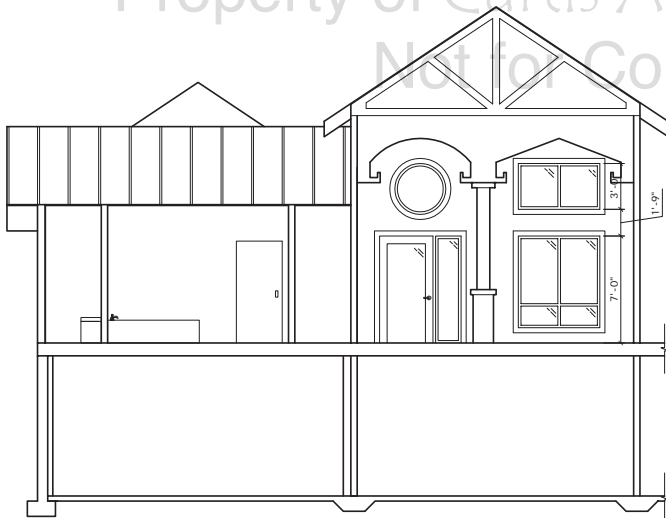
122 N. MARKET  
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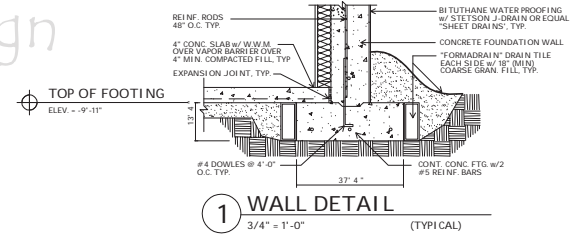
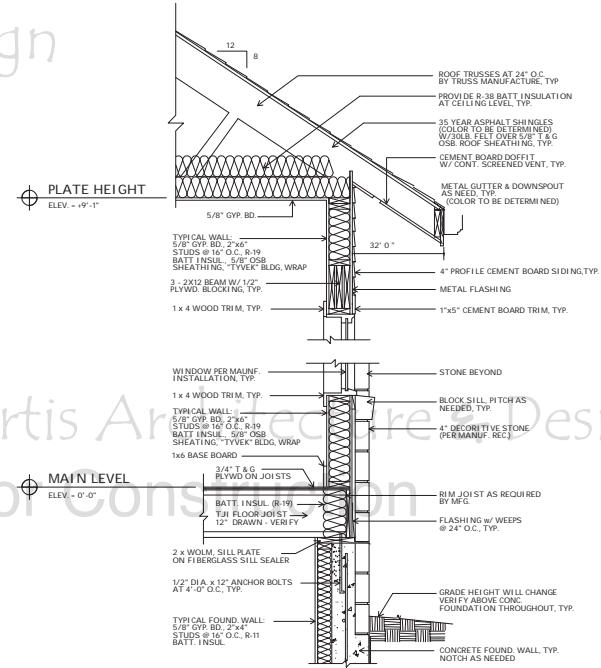
**A4**



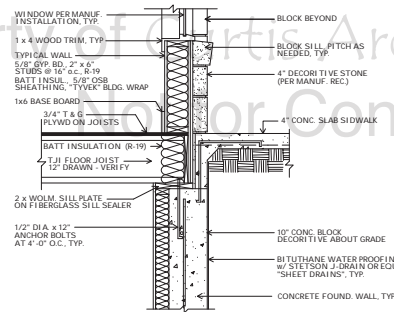
**A BUILDING SECTION**  
1/4" = 1'-0"



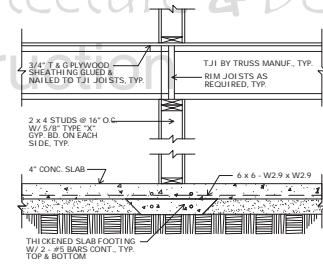
**B BUILDING SECTION**  
1/4" = 1'-0"



**1 WALL DETAIL**  
3/4" = 1'-0" (TYPICAL)



**2 WALL DETAIL**  
3/4" = 1'-0"



**3 INTERIOR BEARING**  
3/4" = 1'-0"



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DIVISION

MEDIUM SAMPLE

SAMPLE, IOWA

BUILDING  
SECTIONS/  
WALL DETAILS :

1/4" = 1'-0"

JOB NUMBER :

1007

DATE :

SEPT. 23, 2010

REVISIONS :

122 N. MARKET  
SUITE #3  
OSKAHOOSA,  
IA 52537

SHEET #

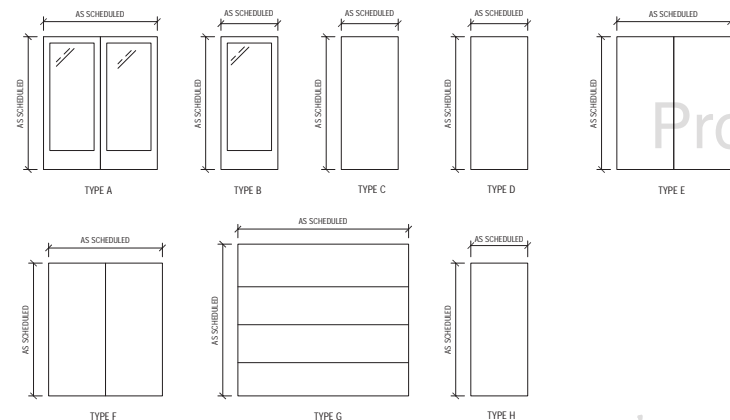
A5

641 672-9625

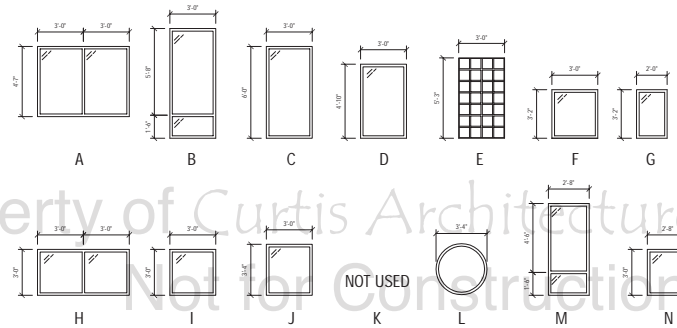


DOOR SCHEDULE										
ROOM (MARK)	OPENING SIZE	DOOR			FRAME			FIRE RATING	H/W SET	REMARKS
		MATL	FINISH	TYPE	MATL	FINISH	TYPE			
<b>LOWER LEVEL</b>										
001	6'-0" x 7'-10" x 1'-3/4"	WOOD	-	A	-	-	-			
002	6'-0" x 6'-8" x 1'-3/4"	WOOD	-	E	-	-	-			BI-FOLD DOOR
003	3'-0" x 6'-8" x 1'-3/4"	WOOD	-	D	-	-	-			
004	3'-0" x 6'-8" x 1'-3/4"	WOOD	-	D	-	-	-			POCKET DOOR
005	2'-6" x 6'-8" x 1'-3/4"	WOOD	-	D	-	-	-			
006	2'-8" x 6'-8" x 1'-3/4"	ALUM	-	H	-	-	-			SHOWER DOOR
007	3'-0" x 6'-8" x 1'-3/4"	WOOD	-	D	-	-	-			
008	6'-0" x 6'-8" x 1'-3/4"	WOOD	-	E	-	-	-			BI-FOLD DOOR
009	3'-0" x 6'-8" x 1'-3/4"	WOOD	-	D	-	-	-			
010	3'-0" x 6'-8" x 1'-3/4"	WOOD	-	D	-	-	-			
011	3'-0" x 7'-10" x 1'-3/4"	WOOD	-	D	-	-	-			
012	2'-6" x 6'-8" x 1'-3/4"	WOOD	-	D	-	-	-			
013	2'-8" x 6'-8" x 1'-3/4"	ALUM	-	H	-	-	-			SHOWER DOOR
014	2'-0" x 6'-8" x 1'-3/4"	WOOD	-	D	-	-	-			
015	3'-0" x 6'-8" x 1'-3/4"	WOOD	-	D	-	-	-			
016	3'-0" x 6'-8" x 1'-3/4"	WOOD	-	D	-	-	-			
017	6'-0" x 6'-8" x 1'-3/4"	WOOD	-	E	-	-	-			BI-FOLD DOOR
018	2'-8" x 6'-8" x 1'-3/4"	WOOD	-	D	-	-	-			
019	4'-0" x 6'-8" x 1'-3/4"	WOOD	-	E	-	-	-			BI-FOLD DOOR
020	6'-0" x 6'-8" x 1'-3/4"	WOOD	-	C	-	-	-			INSULATED EXTERIOR DOOR
021	3'-0" x 6'-8" x 1'-3/4"	WOOD	-	F	-	-	-			INSULATED EXTERIOR DOOR
022	2'-0" x 3'-0"	-	-	-	-	-	-			DOOR DOOR BY OWNER
<b>MAIN LEVEL</b>										
101	3'-6" x 6'-10" x 1'-3/4"	WOOD	-	B	-	-	-			
102	3'-0" x 6'-8" x 1'-3/4"	WOOD	-	D	-	-	-			
103	3'-0" x 6'-8" x 1'-3/4"	WOOD	-	D	-	-	-			POCKET DOOR
104	3'-0" x 6'-8" x 1'-3/4"	WOOD	-	D	-	-	-			POCKET DOOR
105	3'-0" x 6'-8" x 1'-3/4"	WOOD	-	D	-	-	-			POCKET DOOR
106	3'-0" x 6'-8" x 1'-3/4"	WOOD	-	D	-	-	-			POCKET DOOR
107	6'-0" x 6'-8" x 1'-3/4"	WOOD	-	A	-	-	-			
108	6'-0" x 7'-10" x 1'-3/4"	WOOD	-	A	-	-	-			
109	2'-6" x 6'-8" x 1'-3/4"	WOOD	-	B	-	-	-			
110	3'-0" x 6'-8" x 1'-3/4"	WOOD	-	D	-	-	-			
111	3'-0" x 6'-8" x 1'-3/4"	WOOD	-	D	-	-	-			
112	3'-0" x 6'-8" x 1'-3/4"	WOOD	-	C	-	-	-			INSULATED EXTERIOR DOOR
113	9'-0" x 8'-0"	STL	-	G	-	-	-			INSULATED METAL DOOR
114	9'-0" x 8'-0"	STL	-	G	-	-	-			
115	9'-0" x 8'-0"	STL	-	G	-	-	-			
116	2'-6" x 6'-8" x 1'-3/4"	WOOD	-	D	-	-	-			
117	3'-0" x 6'-8" x 1'-3/4"	WOOD	-	D	-	-	-			

WINDOW SCHEDULE							
MARK	QTY.	ROUGH OPENING (W x H)	TYPE	DETAILS			REMARKS
				HEAD	JAMB	SILL	
A	4	6'-0" x 6'-0"	PELLA IMPERVIA-FIXED				
B	4	3'-0" x 7'-2"	PELLA IMPERVIA-FIXED				
C	4	3'-0" x 6'-0"	PELLA IMPERVIA-FIXED				
D	5	3'-0" x 4'-10"	PELLA IMPERVIA-FIXED				
E	1	2'-8" x 4'-8"	GLASS BLOCK				
F	1	3'-0" x 3'-2"	PELLA IMPERVIA-FIXED				
G	2	2'-0" x 3'-2"	PELLA IMPERVIA-FIXED				
H	1	6'-0" x 3'-0"	PELLA IMPERVIA-FIXED				
I	2	3'-0" x 3'-0"	PELLA IMPERVIA-FIXED				
J	2	3'-0" x 3'-4"	PELLA IMPERVIA-FIXED				FAKE DORMERS
K	0	-	-				NOT USED
L	1	3'-4" DIAMETER	-				
M	2	2'-8" x 6'-0"	PELLA IMPERVIA-FIXED				
N	2	2'-8" x 3'-0"	PELLA IMPERVIA-FIXED				



DOOR ELEVATIONS  
1/4" = 1'-0"



WINDOW ELEVATION  
1/4" = 1'-0"

MEDIUM SAMPLE  
SAMPLE, IOWA

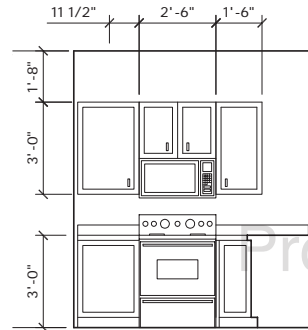
DOOR AND WINDOW SCHEDULE :  
1/4" = 1'-0"  
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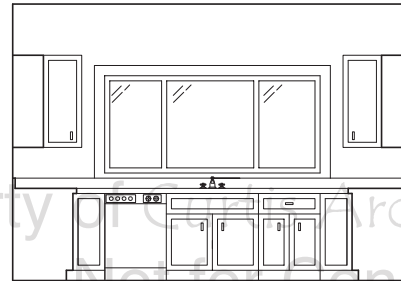


CURTIS  
ARCHITECTURE  
& DESIGN PC

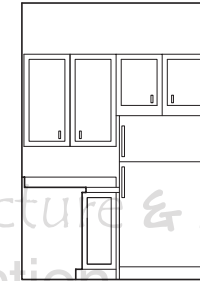
RESIDENTIAL  
DIVISION



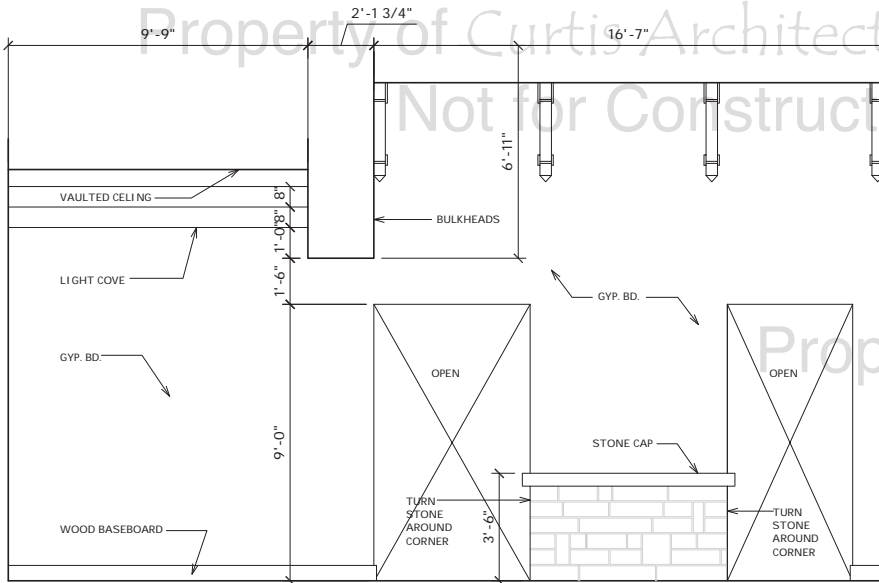
① KITCHEN ELEVATION  
1/2" = 1'-0"



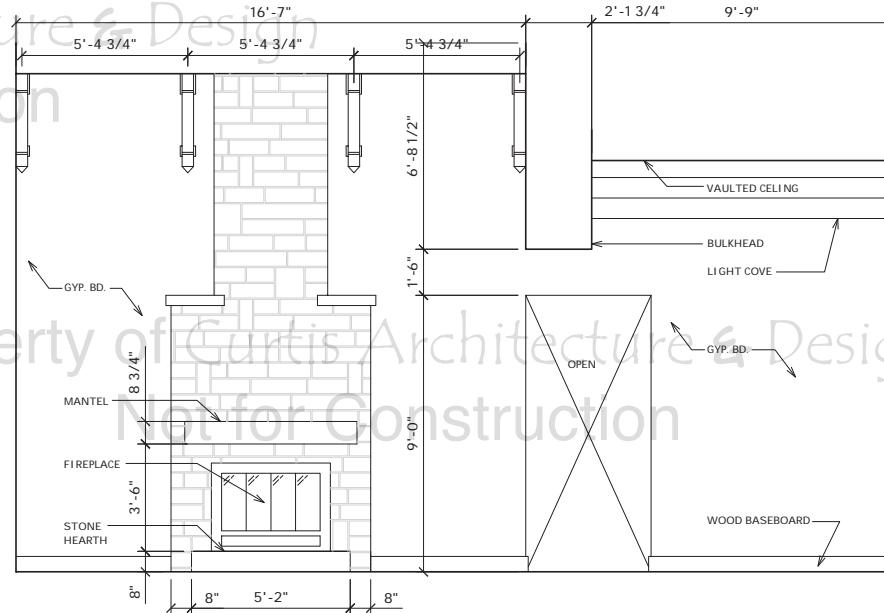
② KITCHEN ELEVATION  
1/2" = 1'-0"



③ KITCHEN ELEVATION  
1/2" = 1'-0"



④ GREAT ROOM ELEVATION  
1/2" = 1'-0"



⑤ GREAT ROOM ELEVATION  
1/2" = 1'-0"

MEDIUM SAMPLE  
SAMPLE, IOWA

INTERIOR  
ELEVATIONS :  
SCALE AS NOTED  
JOB NUMBER :  
1007  
DATE :  
SEPT. 23, 2010  
REVISIONS :

122 N. MARKET  
SUITE #3  
OSKALOOSA,  
IA 52577  
641.672.9625

SHEET #  
A7

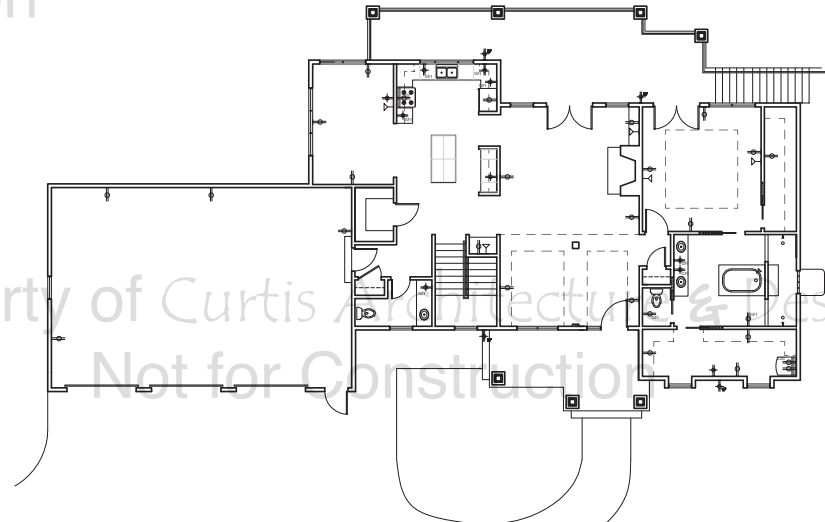
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Not for Construction

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ARCHITECTURE  
& DESIGN PC








RESIDENTIAL  
DIVISION

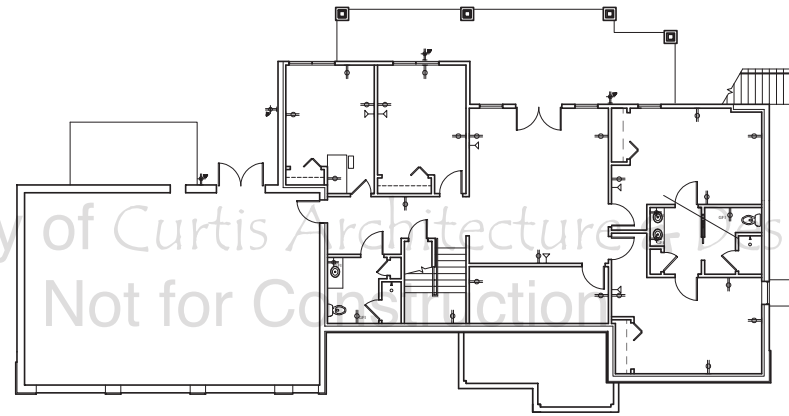


**A** MAIN FLOOR ELECTRIC PLAN  
1/8" = 1'-0"

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POWER/DATA SYMBOLS

-  DUPLEX CONVENIENCE OUTLET
-  FOURPLEX CONVENIENCE OUTLET
-  ABOVE COUNTER OUTLET
-  ABOVE COUNTER OUTLET - GFI
-  DATA & TELEPHONE BOX
-  THERMOSTAT
-  WATER PROOF OUTLET - WP



**B** LOWER FLOOR ELECTRIC PLAN  
1/8" = 1'-0"

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**MEDIUM SAMPLE**

SAMPLE, IOWA

ELECTRICAL/  
POWER PLAN :

1/8" = 1'-0"

JOB NUMBER :

1007

DATE :

SEPT. 23, 2010

REVISIONS :

122 N. MARKET  
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OSKALOOSA,  
IA 52577  
641.672.9625

SHEET #

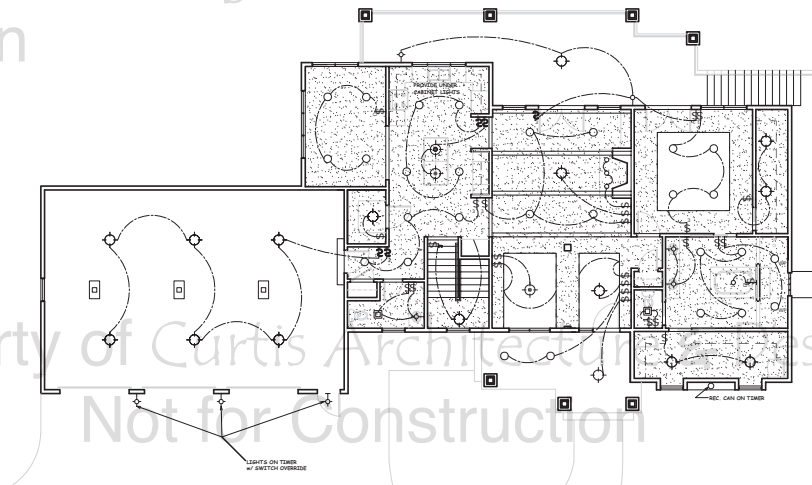
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ARCHITECTURE  
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DIVISION



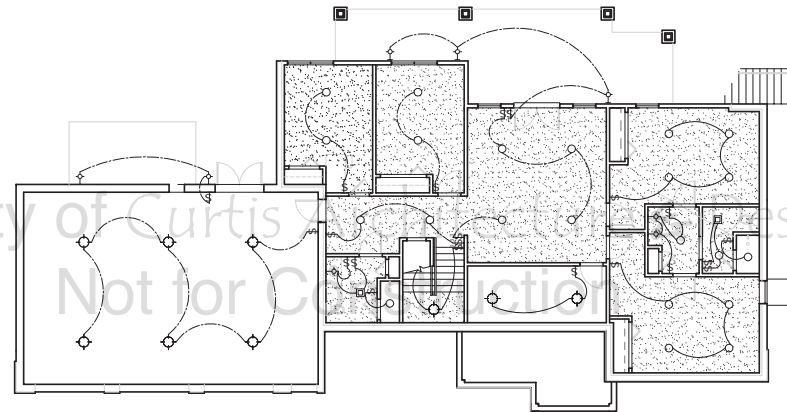
**A** MAIN FLOOR REFLECTED CEILING PLAN  
1/8" = 1'-0"

**ELECTRICAL FIXTURE SYMBOLS**

	PENDANT		WALL SCONCE
	SMALL PENDANT		GARAGE DOOR OPENER w/ LIGHT
	CEILING MOUNT		EXHAUST FAN W/ LIGHT
	RECESSED CAN		EXHAUST FAN W/ OUT LIGHT
	SMALL RECESSED CAN		UNDER CABINET LIGHT
	WATERPROOF RECESSED CAN		4' STRIP FIXTURE (LIGHT COVERS)

**POWER SYMBOLS**

	SWITCH
	3-WAY SWITCH
	DIMMER SWITCH



**B** LOWER FLOOR REFLECTED CEILING PLAN  
1/8" = 1'-0"

**MEDIUM SAMPLE**  
SAMPLE, IOWA

REFLECTED  
CEILING PLAN :  
1/8" = 1'-0"  
JOB NUMBER :  
1007  
DATE :  
SEPT. 23, 2010  
REVISIONS :

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